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**ZONING DATA**

ZONING CATEGORY: MU-4 | R-3 | R-2  
 SQUARE 1672 LOTS 4, 14, 804, 812, & 815  
 SQUARE 1673 LOTS 822 & 824  
 4200 DAVENPORT STREET, NW  
 WASHINGTON, DC 20016

	MU-4	R-3	R-2
SITE AREA	59,125 SF	11,148 SF	274,609 SF
LOT OCCUPANCY (PERMITTED)	35,475 SF (60%)	4,459 SF (40%)	109,844 SF (40%)
LOT OCCUPANCY (PROPOSED)	29,779 SF (50.3%)	0 (0%)	60,182 (21.9%)
GREEN AREA RATIO (REQUIRED)	17,738 SF (0.3)	N/A	N/A
GREEN AREA RATIO (PROPOSED)	17,757 SF (0.3)	N/A	N/A
SITE FAR (PERMITTED)	88,688 SF (1.5)	N/A	N/A
SITE FAR (PROPOSED)	88,613 SF (1.5)	N/A	N/A
SIDE YARD SETBACK (REQUIRED)	N/A	N/A	8'-0"
NORTH	N/A	N/A	57'-1"
SOUTH	N/A	N/A	*30'-0"
REAR YARD SETBACK (REQUIRED)	15'-0"	20'-0"	20'-0"
WEST	18'-6"	N/A	20'-0"
BUILDING HEIGHT (PERMITTED)	50'-0" **	40'-0"	40'-0"
BUILDING HEIGHT (PROPOSED)	50'-0" **	N/A	*39'-0"
PENTHOUSE HEIGHT (PERMITTED)	15'-0"		
PENTHOUSE HEIGHT (PROPOSED)	15'-0"		

**EXISTING BUILDINGS GSF**

GDS HIGH SCHOOL = 106,420 SF

**NEW BUILDINGS GSF**

GDS LOWER/MIDDLE SCHOOL = 88,613 SF  
 GDS GARAGE = 21,381 SF

**PARKING**

GDS HIGH SCHOOL (REQUIRED) = 78  
 GDS HIGH SCHOOL (PROPOSED) = 182  
 GDS LOWER/MIDDLE (REQUIRED) = 80  
 GDS LOWER/MIDDLE (PROPOSED) = 95

**LOADING**

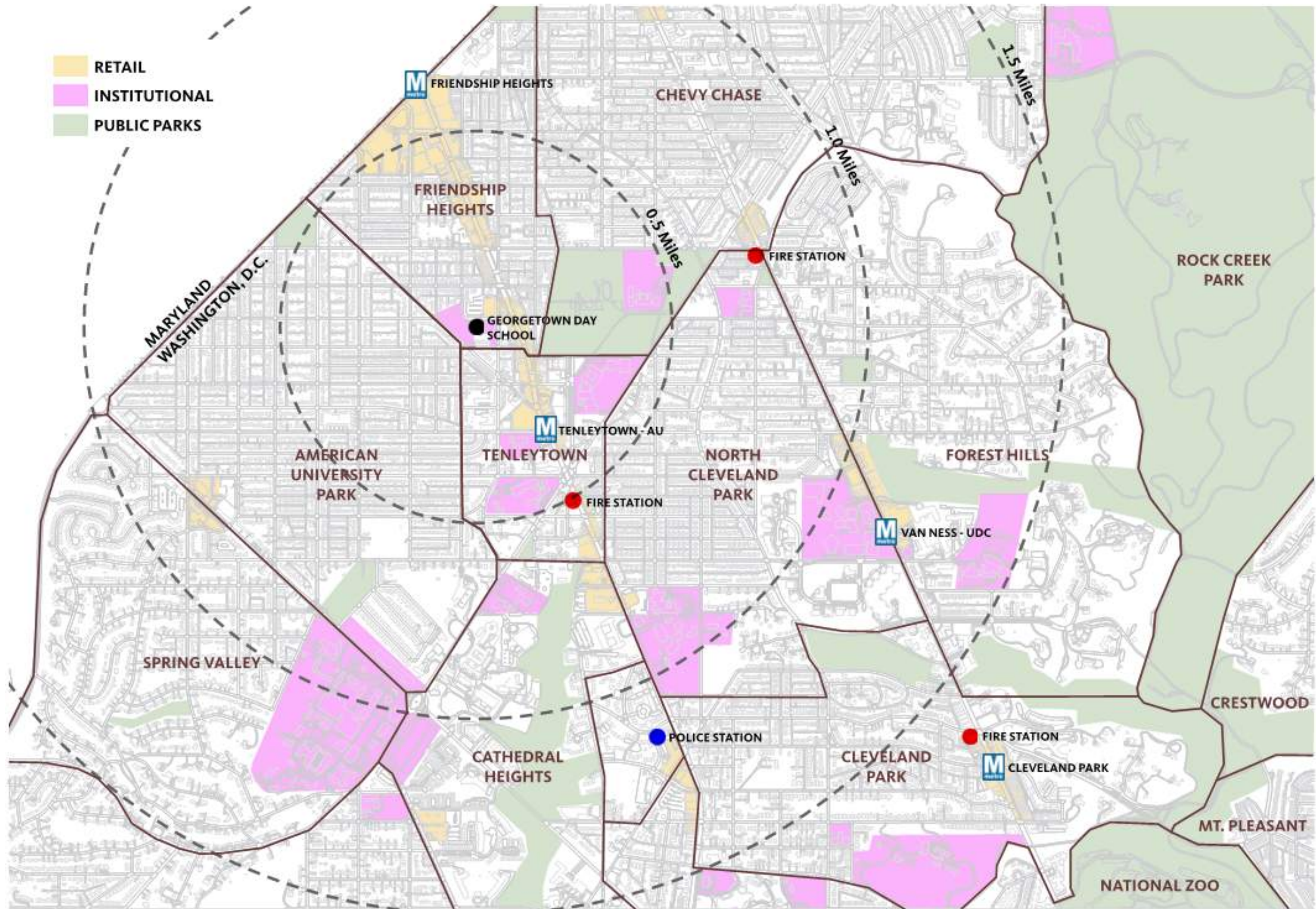
LOADING BERTH REQUIRED = 2 @ 30 FT DEEP  
 LOADING BERTH PROVIDED = 2 ≥ 30 FT DEEP  
 LOADING PLATFORM REQUIRED = 2 @ 100 SF  
 LOADING PLATFORM PROVIDED = 2 @ 100 SF  
 DELIVERY SPACE REQUIRED = 1 @ 20 FT DEEP  
 DELIVERY SPACE PROVIDED = 1 ≥ 20 FT DEEP

\* INFORMATION BASED ON EXISTING HIGH SCHOOL: 4200 DAVENPORT ST NW  
 \*\* HEIGHT MEASURED FROM STREET CURB AT MID-POINT OF BUILDING ALONG 42ND STREET

**COVER SHEET**

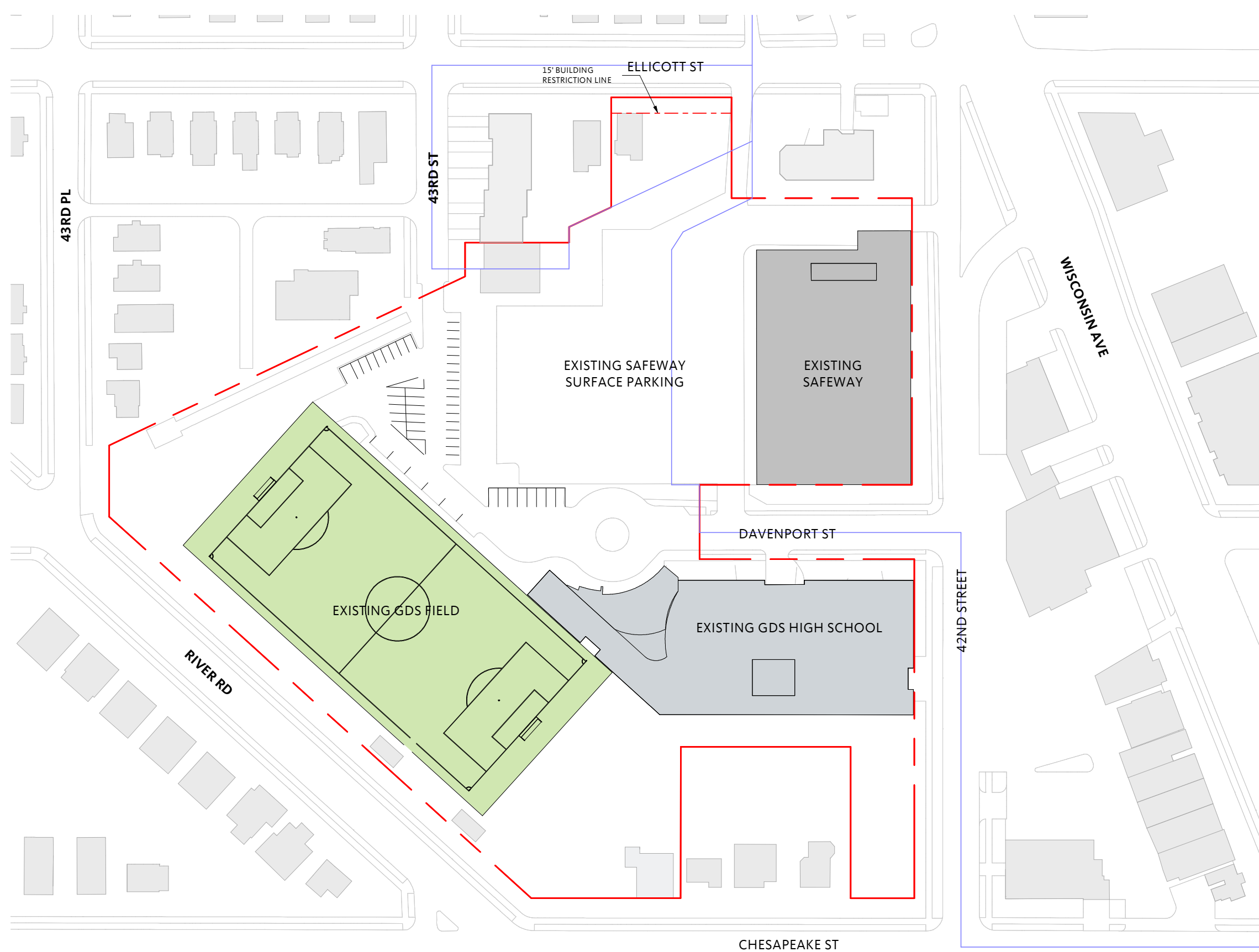
4200 Davenport St NW,  
 Washington, DC 20016  
 | 11/29/17

Board of Zoning Adjustment  
 District of Columbia  
 CASE NO. 13099  
**GO.00**  
 EXHIBIT NO. 06A1



**VICINITY MAP**





— ZONING BOUNDARY  
- - - PROPERTY LINE

## SITE PLAN EXISTING

4200 Davenport St NW,  
 Washington, DC 20016  
 1" = 100'-0" | 11/29/17

# G0.02





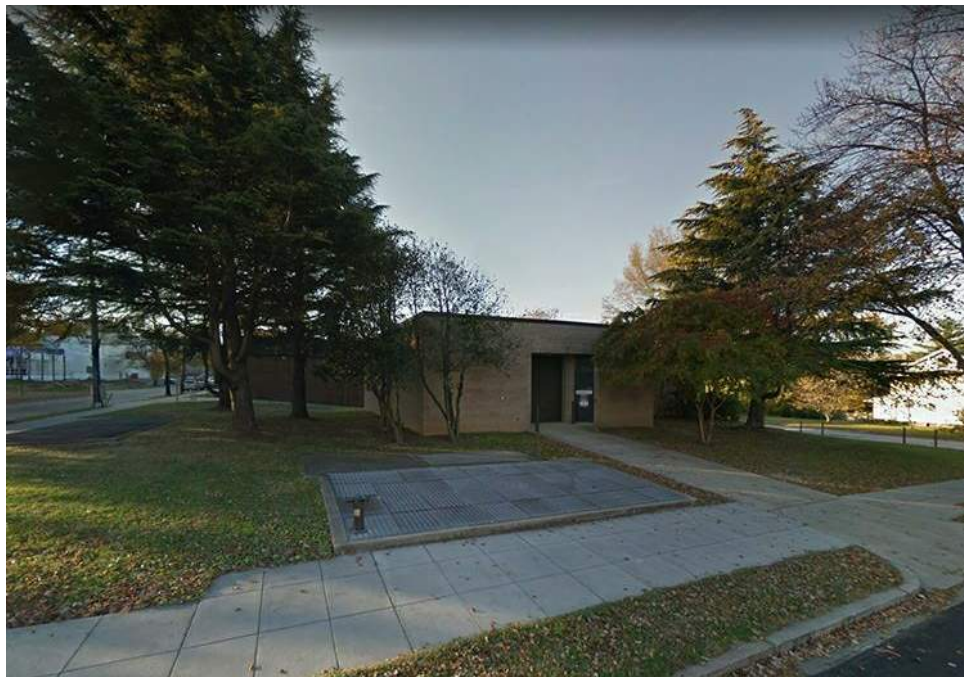
1. 42ND ST LOOKING NORTH



2. 42ND STREET LOOKING WEST



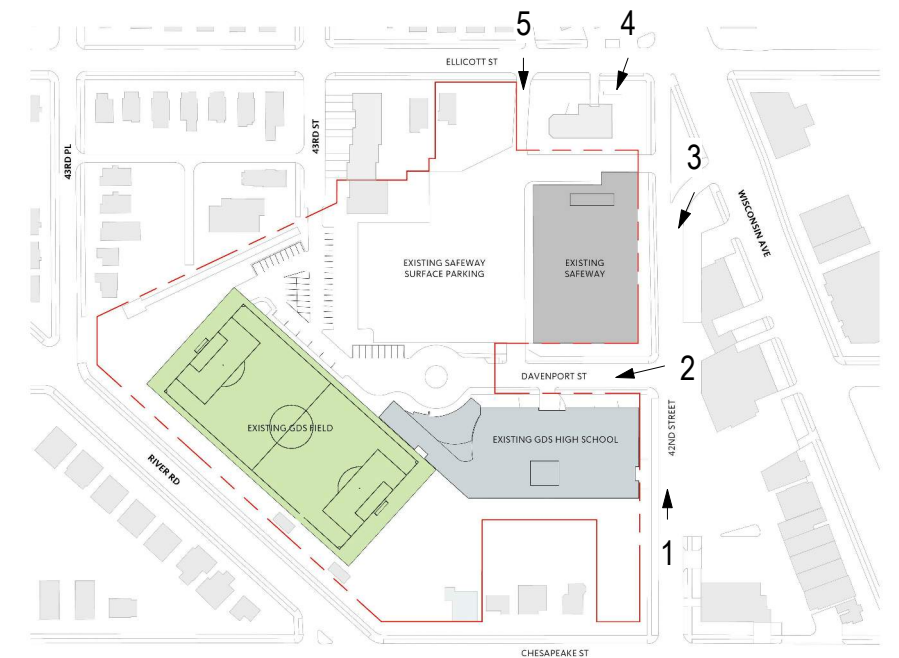
3. 42ND STREET LOOKING SOUTH



4. ELLICOTT ST WMATA FACILITY



5. ELLICOTT ST EXISTING PUBLIC ALLEY



**SITE CONTEXT PHOTOS**

4200 Davenport St NW,  
Washington, DC 20016  
| 11/29/17

**G0.03**



1. 43RD ST LOOKING SOUTH



2. DAVENPORT ST SURFACE PARKING



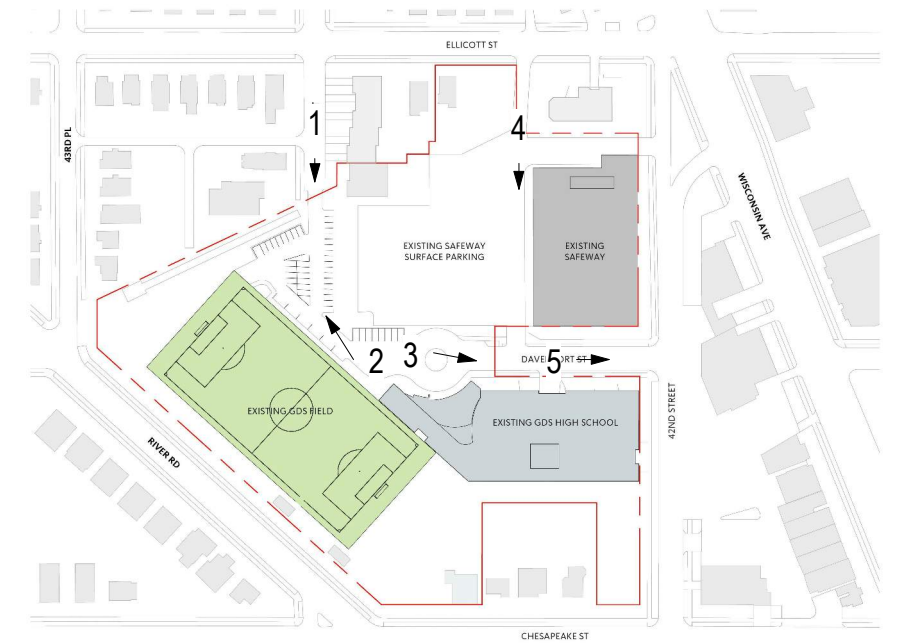
3. EXISTING HIGH SCHOOL LOOKING EAST



4. SAFEWAY BUILDING LOOKING SOUTH



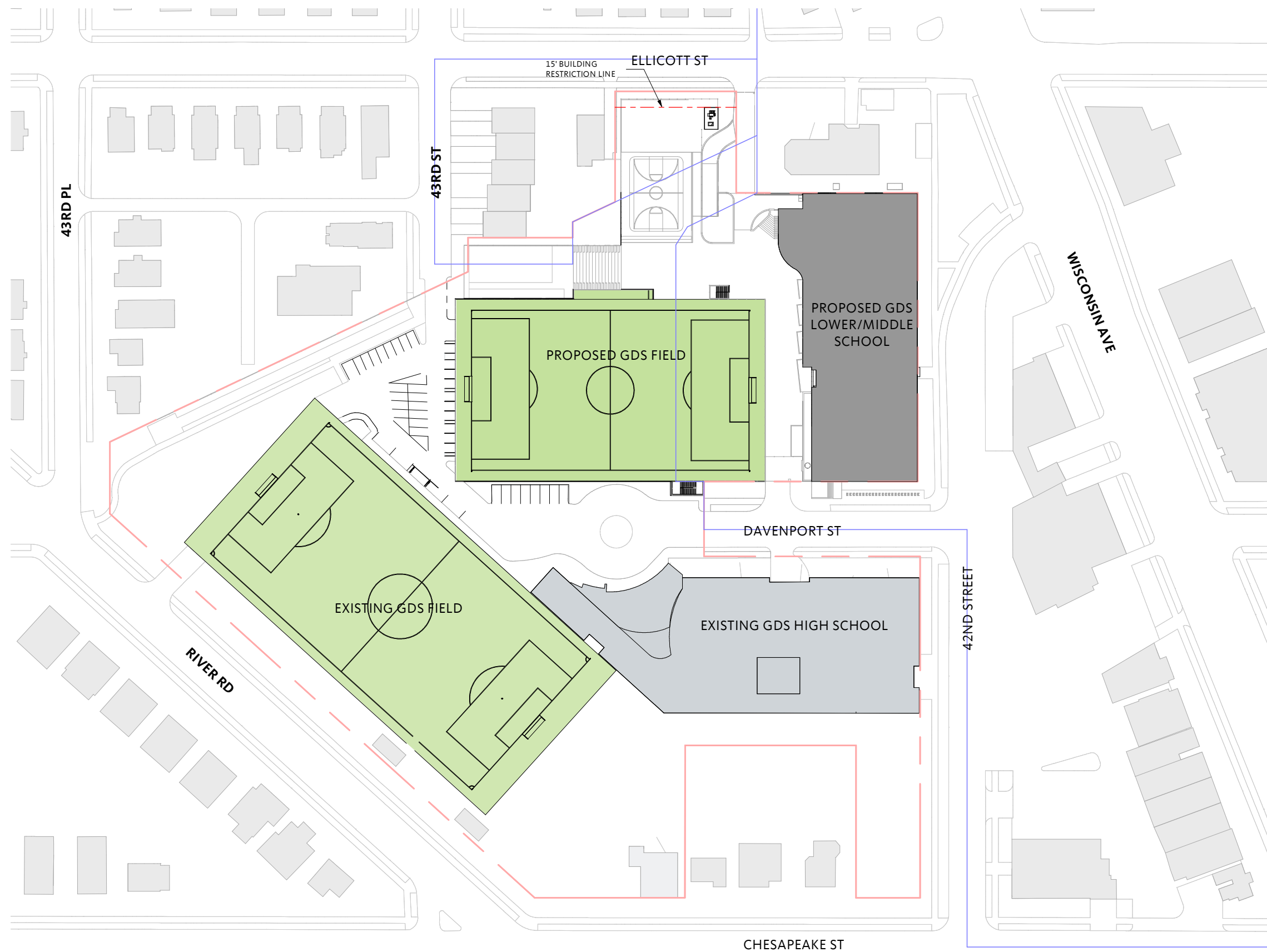
5. DAVENPORT ST LOOKING EAST



### SITE CONTEXT PHOTOS

4200 Davenport St NW,  
Washington, DC 20016  
| 11/29/17

# GO.04



— ZONING BOUNDARY  
- - - PROPERTY LINE

## SITE PLAN PROPOSED

4200 Davenport St NW,  
 Washington, DC 20016  
 1" = 100'-0" | 11/29/17

# G0.05



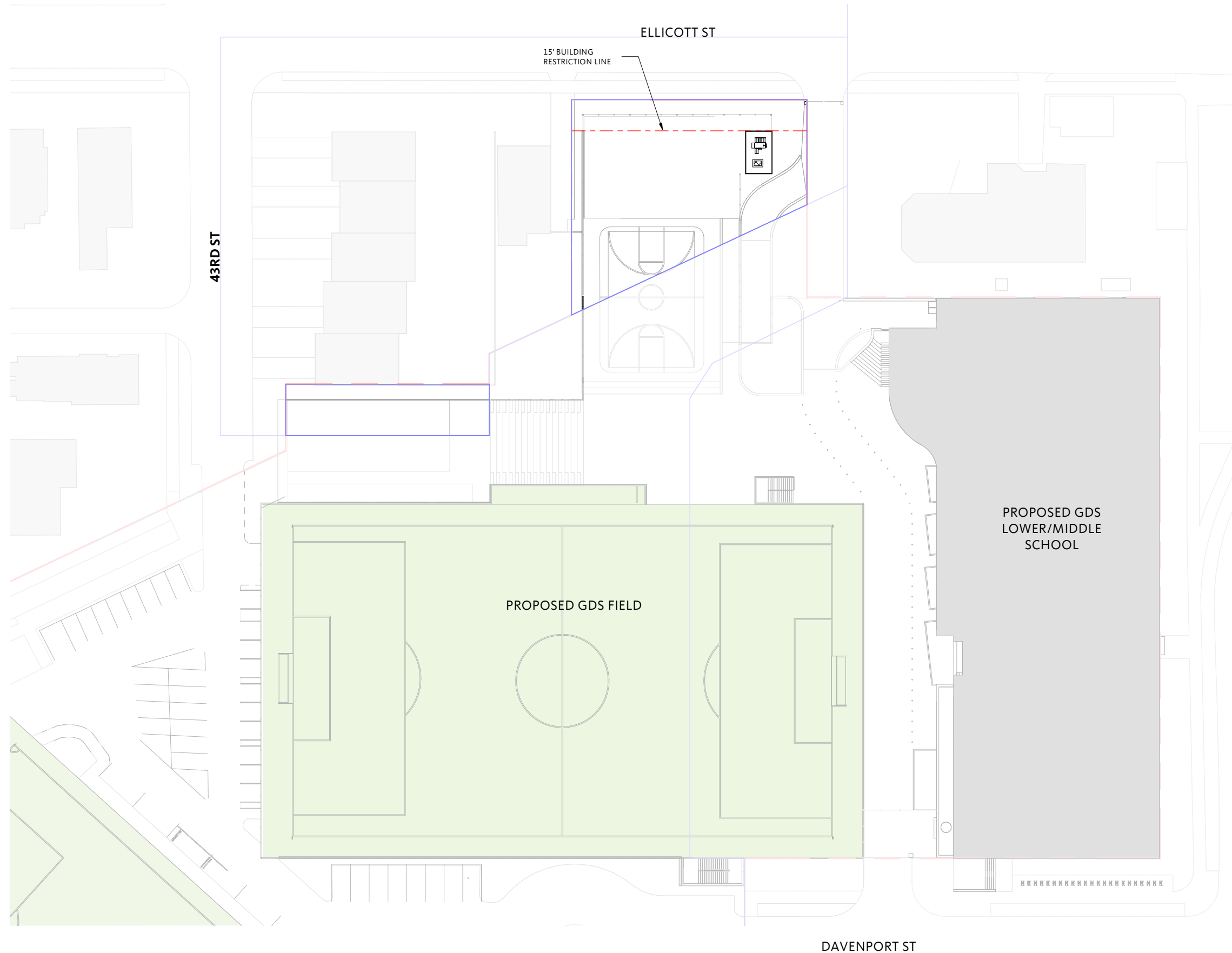
	MU-4
SITE AREA	59,125 SF
LOT OCCUPANCY (PERMITTED)	35,475 SF (60%)
LOT OCCUPANCY (PROPOSED)	29,779 SF (50.3%)
GREEN AREA RATIO (REQUIRED)	17,738 SF (0.3)
GREEN AREA RATIO (PROPOSED)	17,757 SF (0.3)
SITE FAR (PERMITTED)	88,688 SF (1.5)
SITE FAR (PROPOSED)	88,613 SF (1.5)
SIDE YARD SETBACK (REQUIRED)	N/A
NORTH	N/A
SOUTH	N/A
REAR YARD SETBACK (REQUIRED)	15'-0"
WEST	18'-6"
BUILDING HEIGHT (PERMITTED)	** 50'-0"
BUILDING HEIGHT (PROPOSED)	** 50'-0"
PENTHOUSE HEIGHT (PERMITTED)	15'-0"
PENTHOUSE HEIGHT (PROPOSED)	15'-0"

\* INFORMATION BASED ON EXISTING HIGH SCHOOL: 4200 DAVENPORT ST NW  
 \*\* HEIGHT MEASURED FROM STREET CURB AT MID-POINT OF BUILDING ALONG 42ND STREET

## SITE ZONING MU-4

4200 Davenport St NW,  
 Washington, DC 20016  
 1" = 50'-0" | 11/29/17

# G0.06



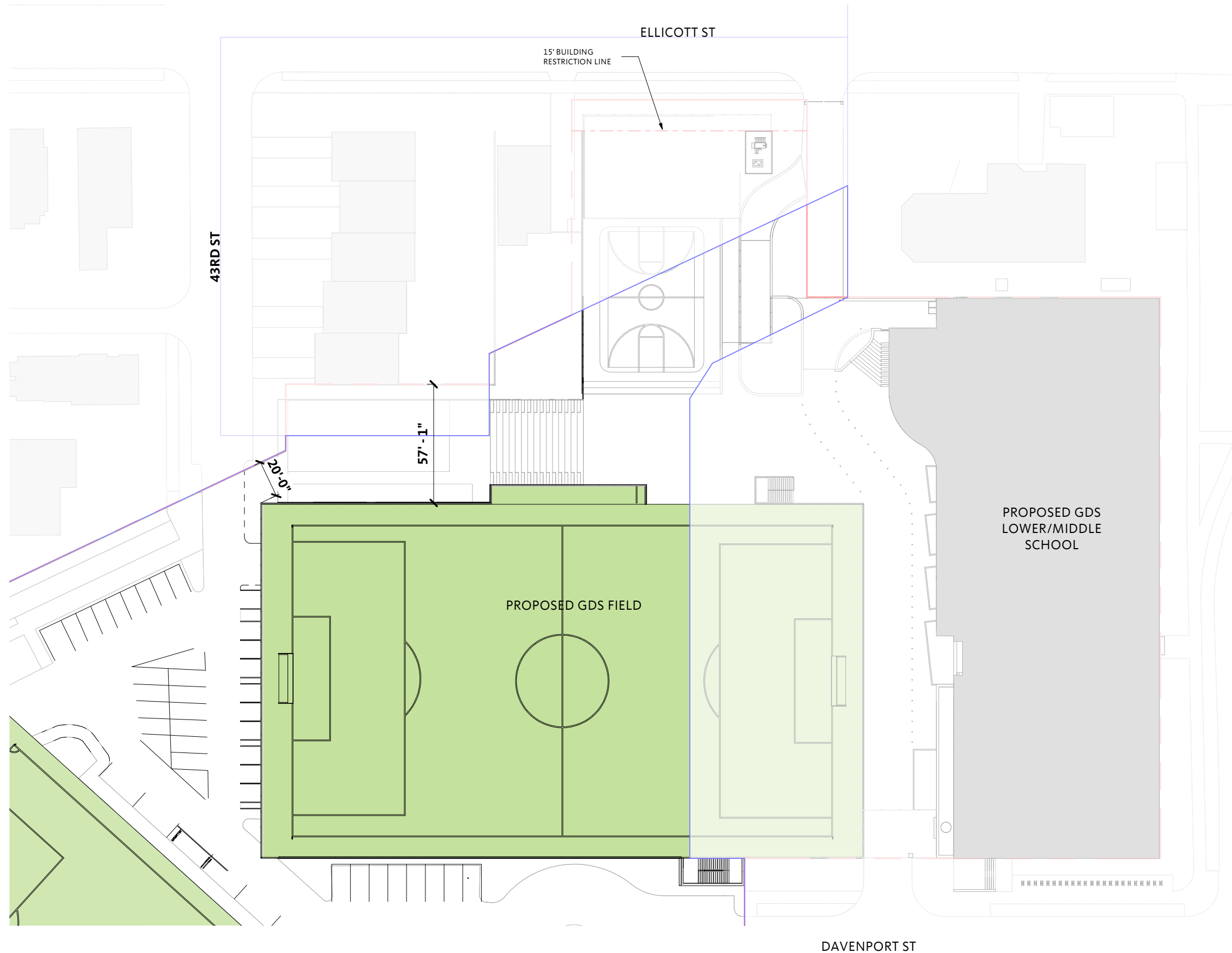
	R-3
SITE AREA	11,148 SF
LOT OCCUPANCY (PERMITTED)	4,459 SF (40%)
LOT OCCUPANCY (PROPOSED)	0 (0%)
SIDE YARD SETBACK (REQUIRED)	N/A
NORTH	N/A
SOUTH	N/A
REAR YARD SETBACK (REQUIRED)	20'-0"
WEST	N/A
BUILDING HEIGHT (PERMITTED)	40'-0"
BUILDING HEIGHT (PROPOSED)	N/A

## SITE ZONING R-3

4200 Davenport St NW,  
Washington, DC 20016  
1" = 50'-0" | 11/29/17

# G0.07





	R-2
SITE AREA	274,609 SF
LOT OCCUPANCY (PERMITTED)	109,844 SF (40%)
LOT OCCUPANCY (PROPOSED)	60,182 SF (21.9%)
SIDE YARD SETBACK (REQUIRED)	8'-0"
NORTH	57'-1"
SOUTH	*30'-0"
REAR YARD SETBACK (REQUIRED)	20'-0"
WEST	20'-0"
BUILDING HEIGHT (PERMITTED)	40'-0"
BUILDING HEIGHT (EXISTING)	*39'-0"

\* INFORMATION BASED ON EXISTING HIGH SCHOOL: 4200 DAVENPORT ST NW  
 \*\* HEIGHT MEASURED FROM STREET CURB AT MID-POINT OF BUILDING ALONG 42ND STREET

## SITE ZONING R-2

4200 Davenport St NW,  
 Washington, DC 20016  
 1" = 50'-0" | 11/29/17

# G0.08



## SITE PLAN ILLUSTRATIVE

4200 Davenport St NW,  
Washington, DC 20016  
| 11/29/17

# G0.09





## LEGEND

**7'-0" - SECURITY FENCE (ANTI CLIMB)**

**7'-0" - SECURITY FENCE (ANTI CLIMB)**

\* FENCE HEIGHT SUBJECT TO PUBLIC SPACE APPROVALS

**7'-0" - WOOD SOUND WALL (+3'-0" POSSIBLE INCREASE ON WALL HEIGHT WITH APPROVAL OF NEIGHBOR)**

**2'-0" KNEE WALL WITH 4'-0" DEMOUNTABLE SECURITY FENCE ABOVE**

\* TOP OF ASSEMBLY TO BE 6'-0" - RATIO OF KNEE WALL TO DEMOUNTABLE SECURITY FENCE SUBJECT TO CHANGE DEPENDING ON THE SAFETY OF THE WALL TO OCCUPANTS

**FULL HEIGHT VEGETATED WALL EXTENDING FROM GROUND TO TOP OF CANOPY**

**8'-0" SECURITY FENCE (ANTI CLIMB)**

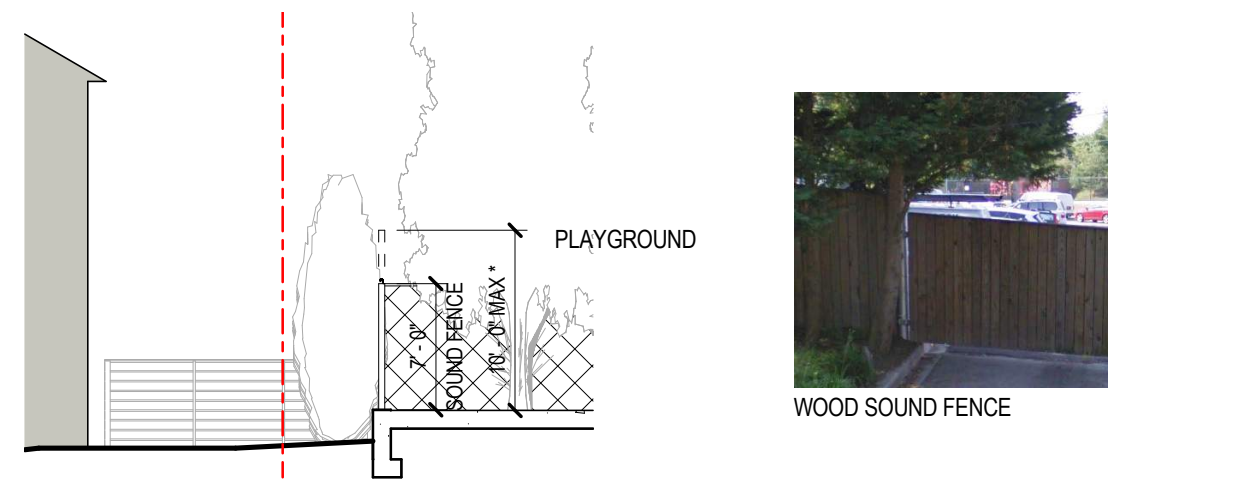
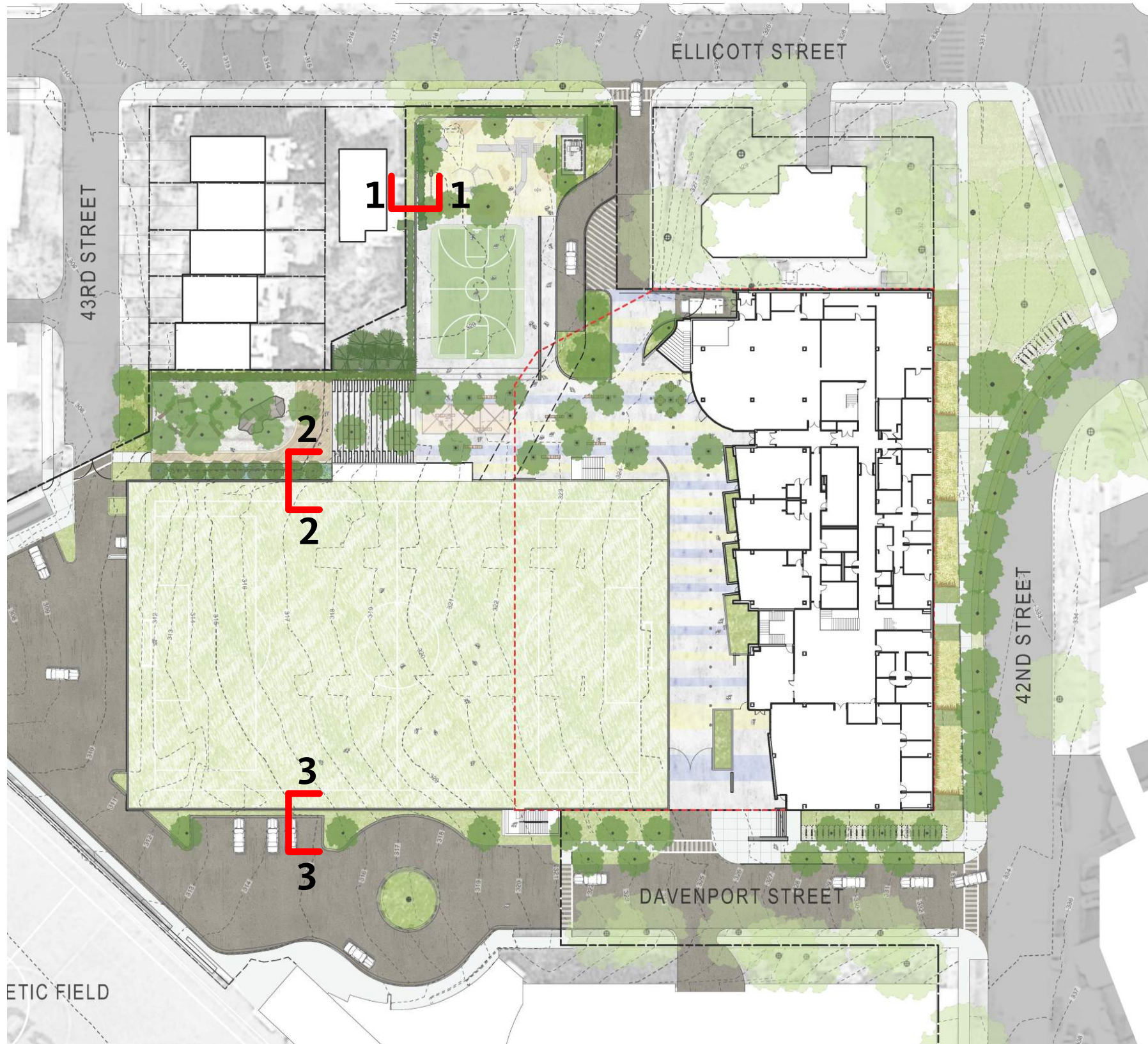
\* 2'-0" KNEE WALL WITH 6'-0" SECURITY FENCE ABOVE

## SITE FENCING DIAGRAM

4200 Davenport St NW,  
Washington, DC 20016  
| 11/29/17

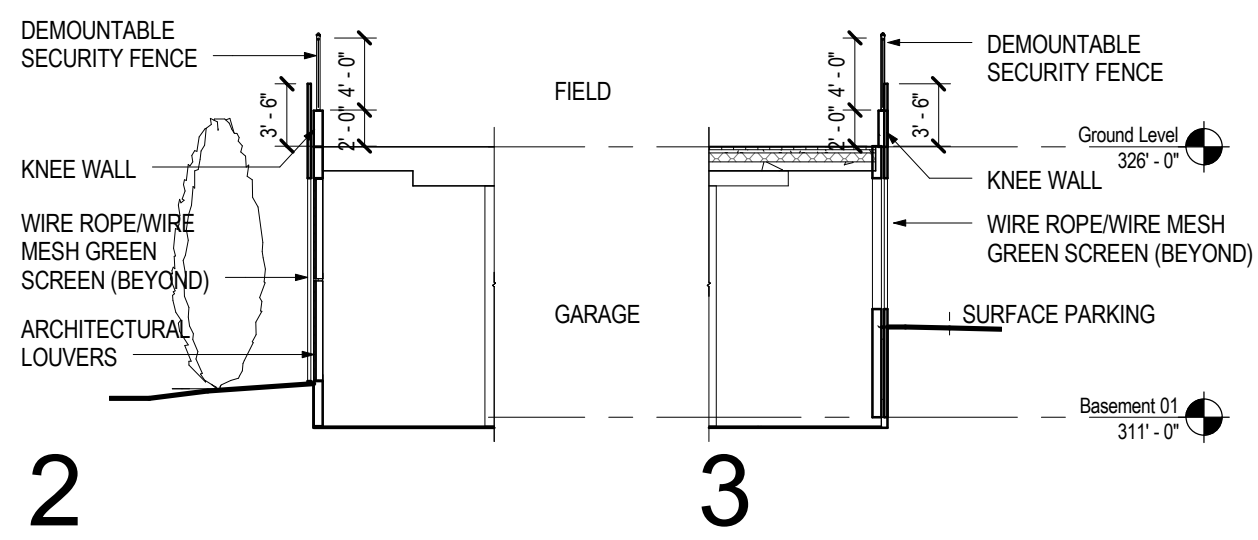


**G0.10**



**1**

\* NOTE: THE FENCE HEIGHT IS SHOWN AS 7 FEET. GDS IS WILLING TO INCREASE THE FENCE HEIGHT TO UP TO 10 FEET IF AGREED TO BY THE OWNER OF 4228 ELLICOTT STREET NW.



WELDED WIRE MESH FENCE

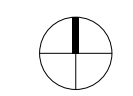


GREEN SCREEN: WIRE ROPE (LEFT), WIRE MESH (RIGHT)

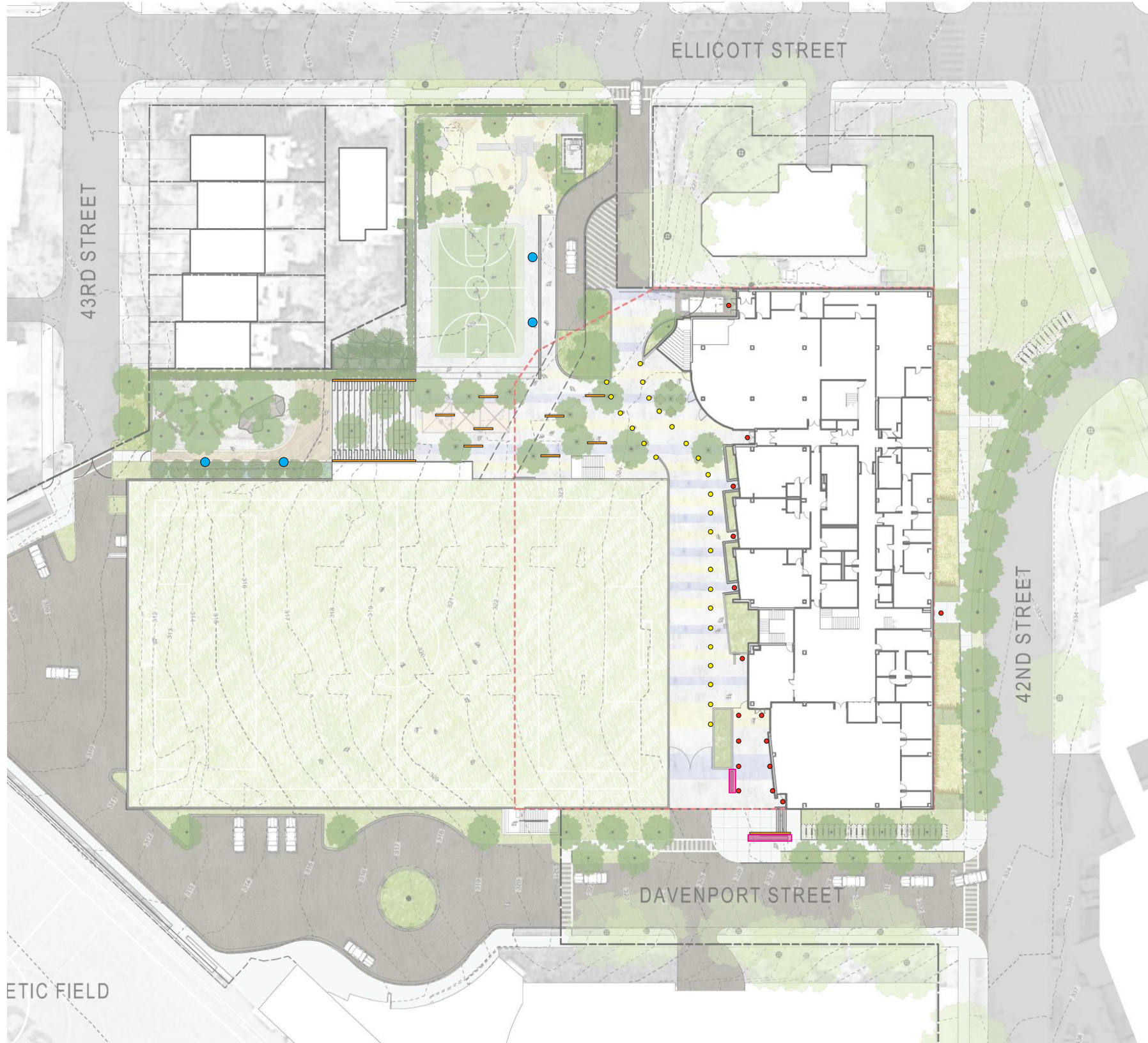
# ENLARGED SITE PLAN

NOTE: FINAL DESIGNS IN PUBLIC SPACE WILL BE COORDINATED WITH DDOT DURING THE PUBLIC SPACE PROCESS

# SITE FENCING DETAILS



# LEGEND & REFERENCE PRODUCT



**BOLLARD DOWN LIGHTS**



**SOFFIT RECESSED DOWN LIGHTS**



**LINEAR DOWN LIGHTS AT BENCHES & RAILING**



**TALL DOWN LIGHT TO MATCH EXISTING HIGH SCHOOL SITE FIXTURE**



**FUTURE SIGNAGE**

Signage will comply with signage regulations. Materials will be compatible with new LMS building, campus identification, and wayfinding.

## SITE LIGHTING DETAILS

4200 Davenport St NW,  
Washington, DC 20016  
| 11/29/17

**GO.12**



## LEGEND & REFERENCE PRODUCT



**BOLLARD DOWN LIGHTS**



**SOFFIT RECESSED DOWN LIGHTS**



**LINEAR DOWN LIGHTS AT BENCHES & RAILING**



**TALL DOWN LIGHT TO MATCH EXISTING HIGH SCHOOL SITE FIXTURE**



**FUTURE SIGNAGE**

Signage will comply with signage regulations. Materials will be compatible with new LMS building, campus identification, and wayfinding.

## SITE LIGHTING DETAILS

4200 Davenport St NW,  
Washington, DC 20016  
| 11/29/17

**G0.13**



## LEGEND & REFERENCE PRODUCT



**BOLLARD DOWN LIGHTS**



**SOFFIT RECESSED DOWN LIGHTS**



**LINEAR DOWN LIGHTS AT BENCHES & RAILING**



**TALL DOWN LIGHT TO MATCH EXISTING HIGH SCHOOL SITE FIXTURE**



**FUTURE SIGNAGE**

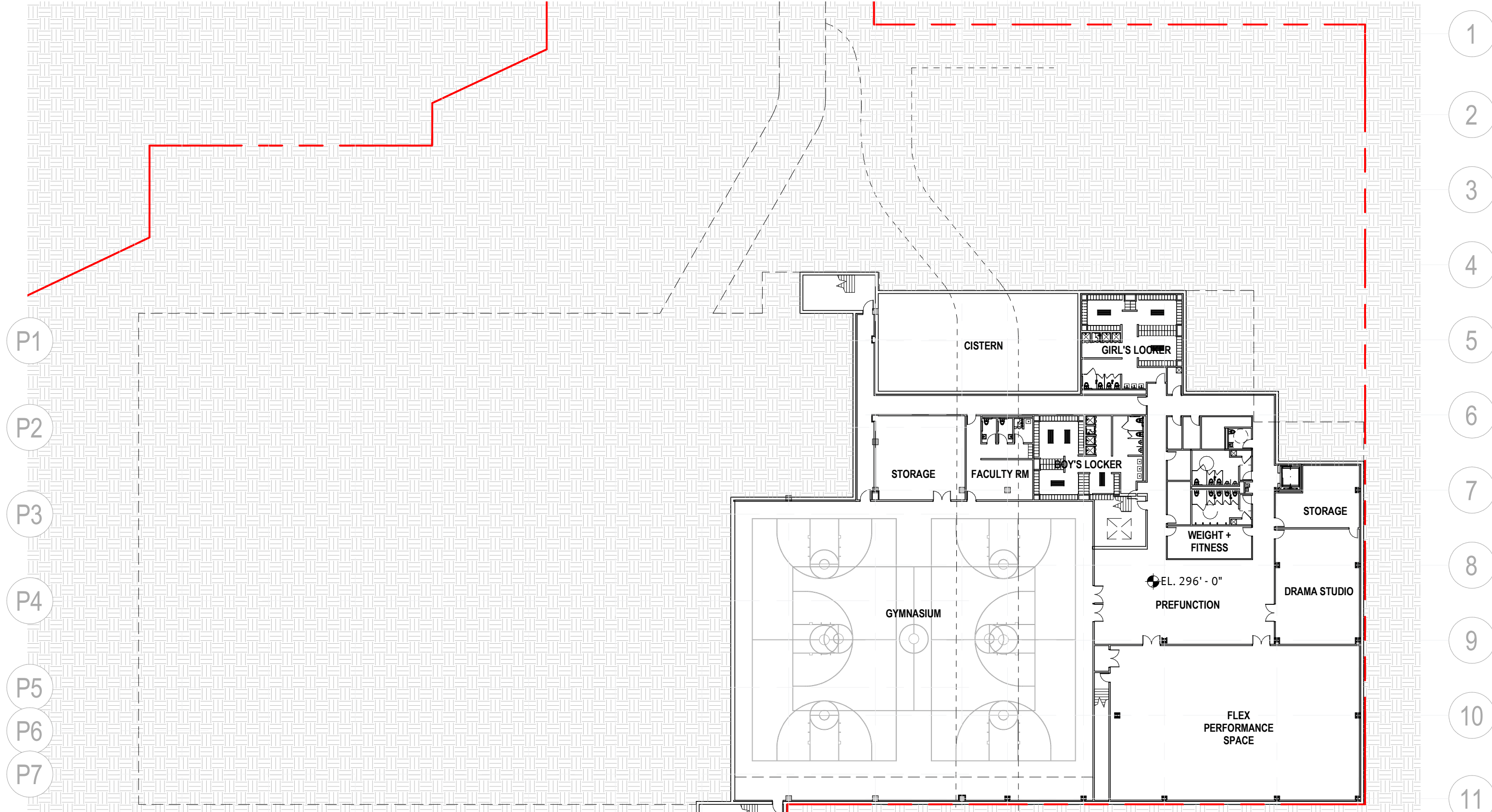
Signage will comply with signage regulations. Materials will be compatible with new LMS building, campus identification, and wayfinding.

## SITE LIGHTING DETAILS

4200 Davenport St NW,  
Washington, DC 20016  
| 11/29/17

**GO.14**

FPB PC PD PE PF PG PH PI PJ PK PL A B C D E

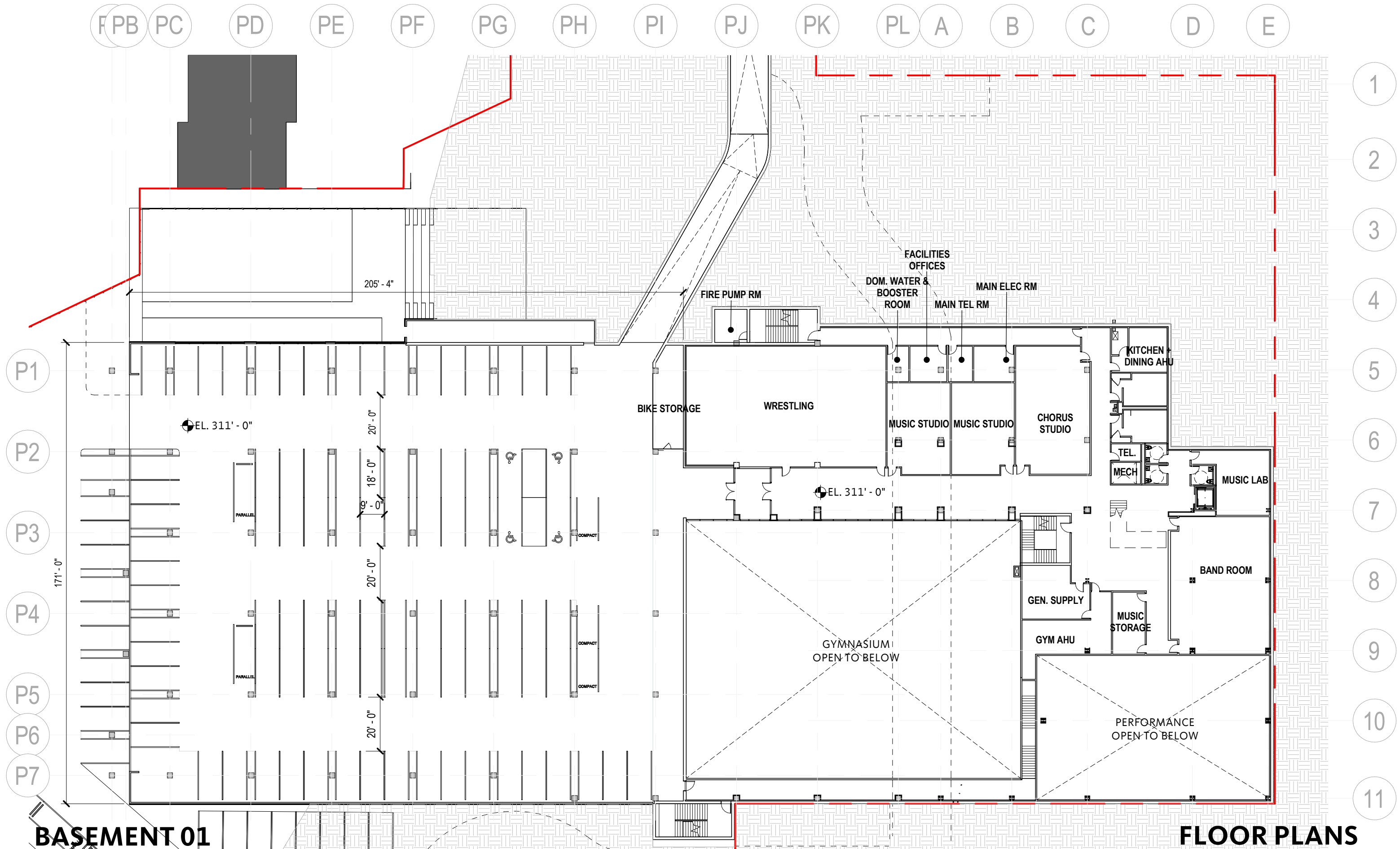


**BASEMENT 02**

**FLOOR PLANS**



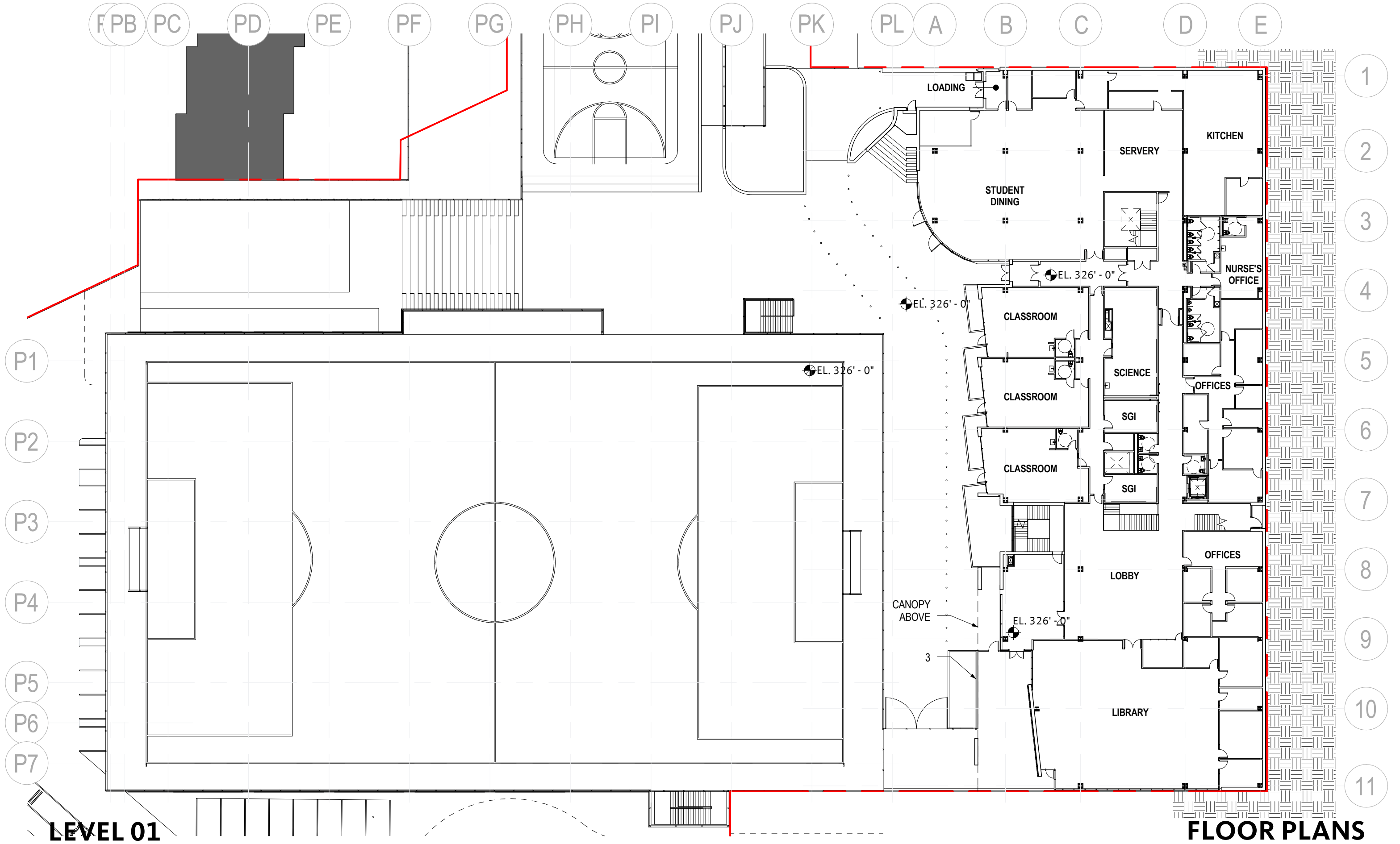




**BASEMENT 01**

**FLOOR PLANS**

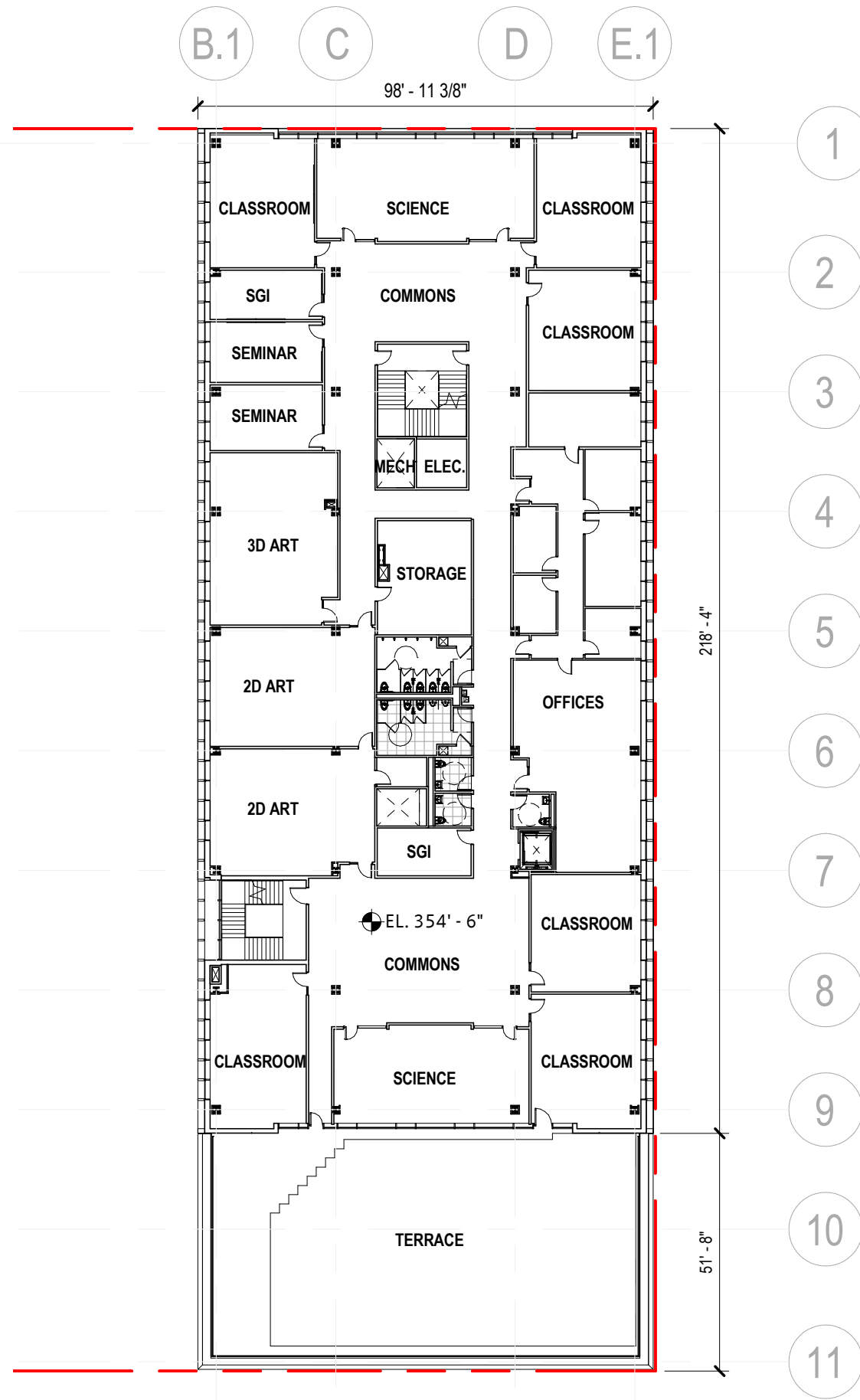




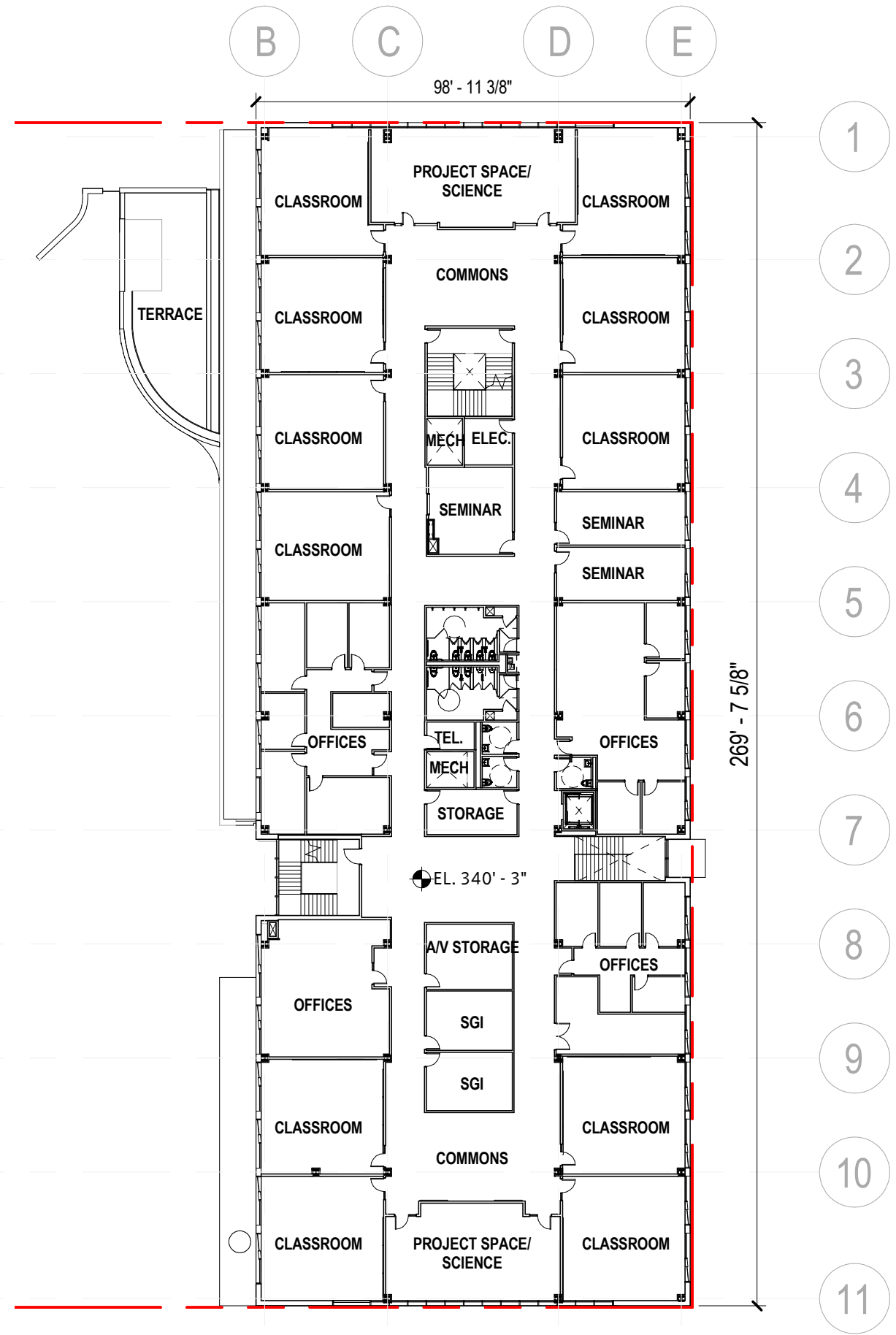
**LEVEL 01**

**FLOOR PLANS**





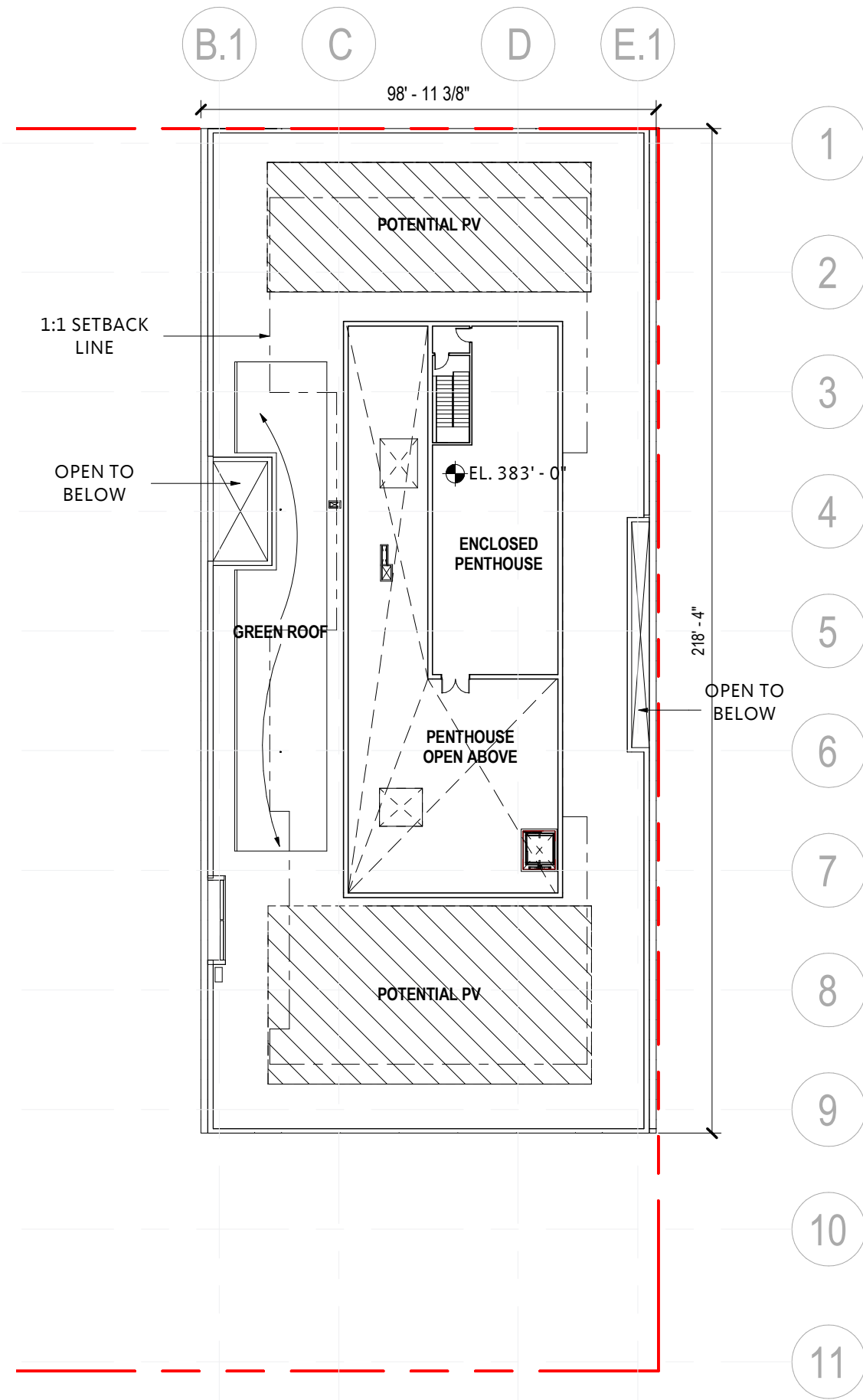
**LEVEL 03**



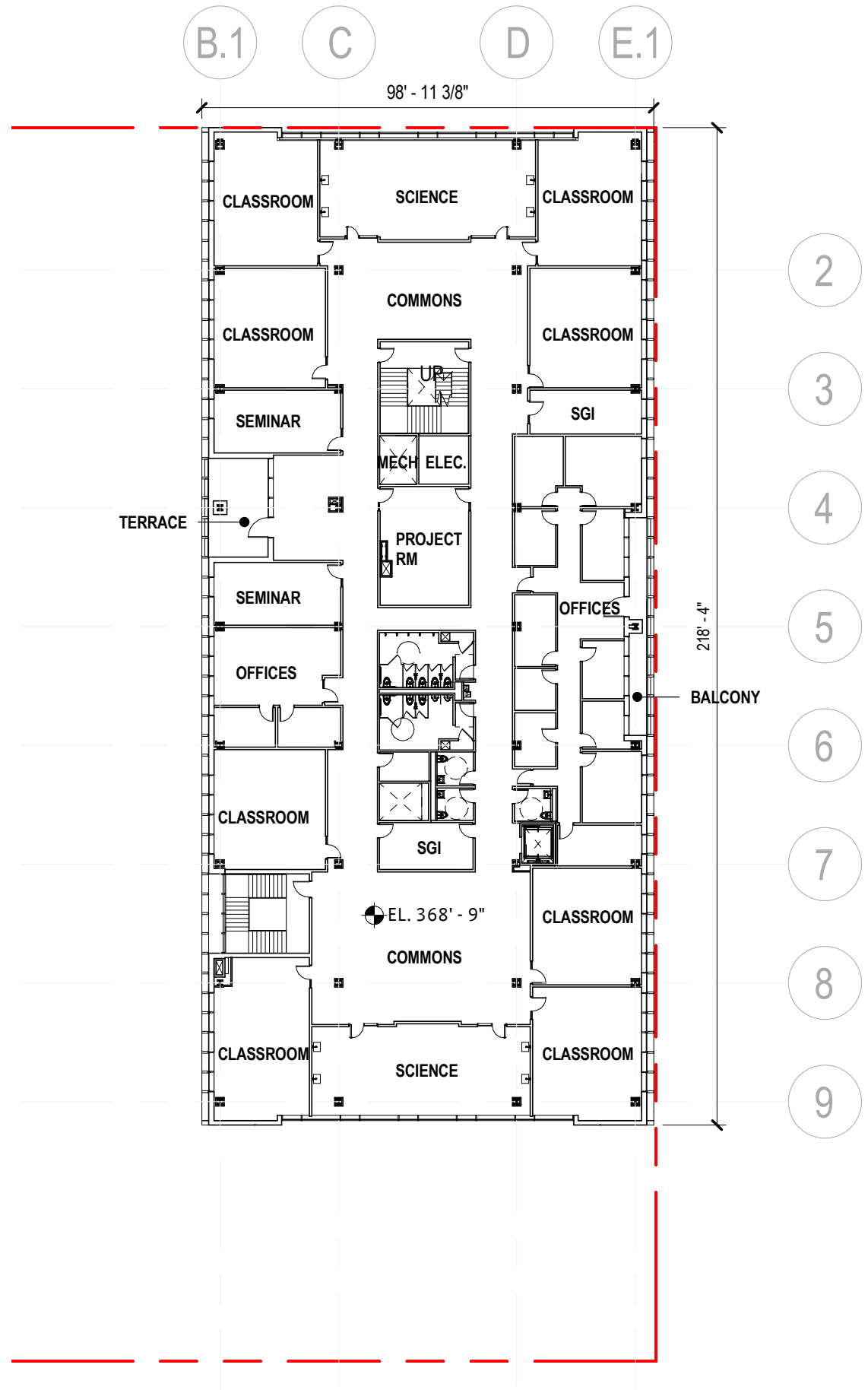
**LEVEL 02**

**FLOOR PLANS**





**ROOF**



**LEVEL 04**

**FLOOR PLANS**

